



Renaissance Development Company
 104 Timber Creek Drive, Ste. 100 - Cordova, TN 38018
 ph-901.758.2728 fax-901.758.1235
 ...another quality Renaissance Development

CERTIFICATE OF OWNERSHIP & DEDICATION

We hereby certify that we (Renaissance Development Company, Inc.) are the owners of the property shown and described herein as evidenced in Book Number D758, Page 168, Fayette County Register's Office, and that we hereby offer this plan of subdivision with our free consent, establish the minimum building restriction lines, and that offers of irrevocable dedication for all roads, utilities, and other facilities have been made.

RENAISSANCE DEVELOPMENT COMPANY, INC.
 Date: 12/14/05 Douglas C. Swink, Partner
 Date: 12/14/05 William S. Omer, Partner
 Date: 12/14/05 Debra W. Omer, Partner
 Date: 12/14/05 Donnie Culver, Partner

CERTIFICATE OF APPROVAL OF ON-SITE SEWAGE DISPOSAL SYSTEMS

Approval is hereby granted for Lots 27 thru 88 of The Cloisters, Phase 3, Fayette County, Tennessee, being suitable for surface sewage disposal (SSD) with the listed or attached restrictions.

Prior to any construction or moving of a dwelling, mobile or permanent, the plans for the exact house/structure location must be approved and a SSD system permit issued by the Division of Ground Water Protection. Water tap, water lines, underground utilities and driveways should be located on side property unless otherwise noted. Any cutting, filling or alterations or the soil conditions may void this approval. Water walls will be located at time of SSD permit issuance where needed.

CERTIFICATE OF APPROVAL FOR ROAD NAMES

I, the undersigned, hereby certify that I have reviewed the proposed subdivision and certify that the names of the roads within this proposed subdivision do not conflict with other road names for emergency service purposes.

Date: 12/14/05
 Signature: *Carlton York*
 Director of 911 Addressing

CERTIFICATE OF THE FAYETTE COUNTY PROPERTY ASSESSOR

I hereby certify that I am in receipt of a copy of this subdivision plot as required by Fayette County Private Acts of 1972, Chapter No. 284.

Date: 01-03-2006
 Signature: *[Signature]*
 Fayette County Property Assessor

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plot shown herein has been found to comply with the Fayette County Subdivision Regulations, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission, and that this plot has been approved for recording in the Office of the County Register.

Date: 12/23/05
 Signature: *[Signature]*
 Secretary, Planning Commission

CERTIFICATE OF SURVEY ACCURACY

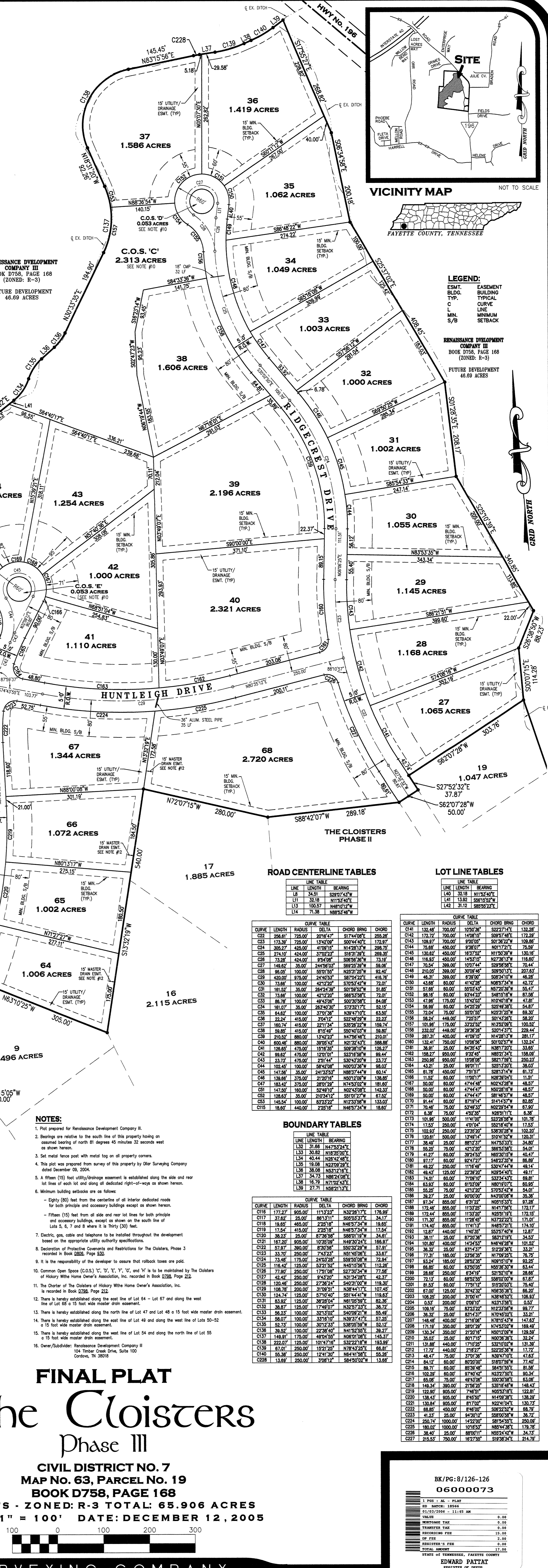
I hereby certify that to the best of my knowledge and belief this is a true and accurate survey to the satisfaction of the Fayette County Subdivision Regulations of the State of Tennessee, and that I am a duly Licensed Surveyor as defined in Title 60, Chapter 1, Part 1, Sections 1-1 through 1-10 of the Tennessee Code Annotated, and that the ratio of precision of this survey is 1/100,000.

Date: 12/14/2005
 Signature: *[Signature]*
 Christopher M. Young, PLS
 Partner
 Tennessee Certificate No. 27862-C

CERTIFICATE OF APPROVAL OF ROADS AND ROADWAY DRAINAGE

I, the undersigned, hereby certify: (a) that all improvements, including but not limited to road, roadway drainage improvements and stormwater drainage have been installed in accordance with these regulations and/or the other specifications adopted by Fayette County and are warranted for one year against any defect in workmanship or materials in the amount of \$ 50,000.00; (b) that a performance bond or other surety instrument in the amount of \$ 50,000.00 has been provided to guarantee completion of all required improvements for this subdivision, in case of default.

Date: 11/30/06
 Signature: *[Signature]*
 Director of Public Works



Lot 27 Maximum 4 bedrooms; maximum setback at building line; low pressure required; subsurface drain required.
 Lot 28 Maximum 4 bedrooms; maximum setback at building line; low pressure required; subsurface drain required.
 Lot 29 Maximum 4 bedrooms; maximum setback at building line; low pressure required; subsurface drain required.
 Lot 30 Maximum 5 bedrooms; maximum setback at building line; subsurface drain required; pump may be required; if 4 bedroom-low pressure pump required.
 Lot 31 Maximum 5 bedrooms; maximum setback at building line; subsurface drain required; if 4 bedroom-low pressure pump required.
 Lot 32 Maximum 5 bedrooms; maximum setback at building line; subsurface drain required; if 4 bedroom-low pressure pump required.
 Lot 33 Maximum 4 bedrooms; maximum setback at building line; low pressure required; subsurface drain required.
 Lot 34 Maximum 4 bedrooms; maximum setback at building line; low pressure required; subsurface drain required.
 Lot 35 Maximum 4 bedrooms; maximum setback at building line; low pressure required; subsurface drain required.
 Lot 36 Maximum 4 bedrooms; maximum setback at building line; low pressure required; subsurface drain required.
 Lot 37 Maximum 4 bedrooms; maximum setback at building line; low pressure required; subsurface drain required.
 Lot 38 Maximum 4 bedrooms; maximum setback at building line; low pressure required; subsurface drain required.
 Lot 39 Maximum 4 bedrooms; maximum setback at building line; low pressure required; subsurface drain required.
 Lot 40 Maximum 4 bedrooms; maximum setback at building line; minimum 150 feet west property line; low pressure pump required; subsurface drain required to master curtain drain.
 Lot 41 Maximum 4 bedrooms; maximum setback at building line off of RIVERSEDGE COVE North and minimum 100 feet off east property line; low pressure pump required; subsurface drain required to master curtain drain; drive and utilities to be located off of RIVERSEDGE COVE South.
 Lot 42 Maximum 4 bedrooms; maximum setback at building line; low pressure pump required; subsurface drain required to master curtain drain.
 Lot 43 Maximum 4 bedrooms; maximum setback at building line; low pressure pump required; subsurface drain required to master curtain drain.
 Lot 44 Maximum 4 bedrooms; maximum setback at building line; low pressure pump required; subsurface drain required to master curtain drain.
 Lot 45 Maximum 4 bedrooms; maximum setback at building line; low pressure pump required; subsurface drain required to master curtain drain.
 Lot 46 Maximum 3 bedrooms; maximum setback at building line of both roads; low pressure pump required; subsurface drain required to master curtain drain; drive and utilities to be located along north property line.
 Lot 47 Maximum 4 bedrooms; maximum setback at building line of both roads; low pressure pump required; subsurface drain required to master curtain drain; drive and utilities to be located along south property line.
 Lot 48 Maximum 4 bedrooms; maximum setback at building line of both roads; low pressure pump required; subsurface drain required to master curtain drain; drive and utilities to be located along south property line.
 Lot 49 Maximum 4 bedrooms; maximum setback at building line of both roads; low pressure pump required; subsurface drain required to master curtain drain; drive and utilities to be located along south property line.
 Lot 50 Maximum 4 bedrooms; maximum setback at building line; low pressure pump required; subsurface drain required to master curtain drain.
 Lot 51 Maximum 4 bedrooms; maximum setback at building line; low pressure pump required; subsurface drain required to master curtain drain.
 Lot 52 Maximum 4 bedrooms; maximum setback at building line; low pressure pump required; subsurface drain required to master curtain drain.
 Lot 53 Maximum 4 bedrooms; maximum setback at building line; low pressure pump required; subsurface drain required to master curtain drain.
 Lot 54 Maximum 4 bedrooms; maximum setback at building line; low pressure pump required; subsurface drain required to master curtain drain.
 Lot 55 Maximum 3 bedrooms; maximum setback at building line off of RIVERSEDGE COVE South; low pressure pump required; subsurface drain required to master curtain drain; drive and utilities to be located along north property line.
 Lot 56 Maximum 4 bedrooms; maximum setback at building line; low pressure pump required; subsurface drain required to master curtain drain.
 Lot 57 Maximum 4 bedrooms; maximum setback at building line; low pressure pump required; subsurface drain required to master curtain drain.
 Lot 58 Maximum 4 bedrooms; maximum setback at building line of Bainbridge Cove; low pressure pump required; subsurface drain required to master curtain drain.
 Lot 59 Maximum 4 bedrooms; maximum setback at building line; low pressure pump required; subsurface drain required to master curtain drain.
 Lot 60 Maximum 3 bedrooms; maximum setback at building line off of Bainbridge Cove and RIVERSEDGE COVE South; low pressure pump required; subsurface drain required to master curtain drain; drive and utilities to be located along south property line.
 Lot 61 Maximum 4 bedrooms; maximum setback at building line; low pressure pump required; subsurface drain required to master curtain drain.
 Lot 62 Maximum 4 bedrooms; minimum setback 200 feet from centerline of cul de sac; maximum 50 feet off north property line; low pressure pump required; subsurface drain required; drive and utilities to be located along the north property line.
 Lot 63 Maximum 3 bedrooms; maximum setback at building line and maximum 50 feet off north property line; mound required; subsurface drain required.
 Lot 64 Maximum 4 bedrooms; maximum setback at building line; low pressure pump required; subsurface drain required to master curtain drain.
 Lot 65 Maximum 4 bedrooms; maximum setback at building line; low pressure pump required; subsurface drain required to master curtain drain.
 Lot 66 Maximum 4 bedrooms; maximum setback at building line; low pressure pump required; subsurface drain required to master curtain drain.
 Lot 67 Maximum 4 bedrooms; maximum setback at building line off both streets; low pressure pump required; subsurface drain required to master curtain drain; drive and utilities to be located along south property line off of RIVERSEDGE DRIVE.
 Lot 68 Maximum 4 bedrooms; maximum setback 100 feet off Huntsleigh Drive and maximum 100 setback off centerline of RIVERSEDGE DRIVE; low pressure pump required; subsurface drain required to master curtain drain; drive and utilities to enter off south property line.

Lot 17 1.885 ACRES
 Lot 18 1.047 ACRES
 Lot 19 1.065 ACRES
 Lot 20 1.168 ACRES
 Lot 21 1.145 ACRES
 Lot 22 1.005 ACRES
 Lot 23 1.002 ACRES
 Lot 24 1.000 ACRES
 Lot 25 1.003 ACRES
 Lot 26 1.009 ACRES
 Lot 27 1.419 ACRES
 Lot 28 1.586 ACRES
 Lot 29 1.062 ACRES
 Lot 30 1.049 ACRES
 Lot 31 1.003 ACRES
 Lot 32 1.000 ACRES
 Lot 33 1.003 ACRES
 Lot 34 1.009 ACRES
 Lot 35 1.003 ACRES
 Lot 36 1.000 ACRES
 Lot 37 1.003 ACRES
 Lot 38 1.006 ACRES
 Lot 39 2.196 ACRES
 Lot 40 2.321 ACRES
 Lot 41 1.110 ACRES
 Lot 42 1.000 ACRES
 Lot 43 1.254 ACRES
 Lot 44 1.151 ACRES
 Lot 45 1.203 ACRES
 Lot 46 1.270 ACRES
 Lot 47 1.003 ACRES
 Lot 48 1.441 ACRES
 Lot 49 1.706 ACRES
 Lot 50 1.000 ACRES
 Lot 51 1.000 ACRES
 Lot 52 1.000 ACRES
 Lot 53 1.000 ACRES
 Lot 54 1.000 ACRES
 Lot 55 1.032 ACRES
 Lot 56 1.307 ACRES
 Lot 57 1.507 ACRES
 Lot 58 1.000 ACRES
 Lot 59 1.043 ACRES
 Lot 60 1.031 ACRES
 Lot 61 1.783 ACRES
 Lot 62 3.435 ACRES
 Lot 63 2.153 ACRES
 Lot 64 1.006 ACRES
 Lot 65 1.006 ACRES
 Lot 66 1.072 ACRES
 Lot 67 1.344 ACRES
 Lot 68 2.720 ACRES

ROAD CENTERLINE TABLES
 LOT LINE TABLES
 BOUNDARY TABLES
 NOTES:
 1. Plat prepared for Renaissance Development Company, Inc.
 2. Bearings are relative to the south line of this property having an assumed bearing of north 81 degrees 45 minutes 32 seconds west as shown herein.
 3. Set metal fence post with metal tag on all property corners.
 4. This plat was prepared from survey by this office by Other Surveying Company dated December 09, 2004.
 5. A stream (15' foot utility/drainage easement) is established along the side and rear lines of each lot and along all dedicated right-of-ways as shown herein.
 6. Minimum building setbacks are as follows:
 - Eighty (80) feet from the centerline of all interior dedicated roads for both principal and accessory buildings except as shown herein.
 - Fifteen (15) feet from all side and rear lot lines for both principal and accessory buildings, except as shown on the south line of Lots 5, 6, 7, and 8 where it is thirty (30) feet.
 7. Electric, gas, cable and telephone to be installed throughout the development based on the appropriate utility authority specifications.
 8. Declaration of Protective Covenants and Restrictions for The Cloisters, Phase 3 recorded in Book D288, Page 830.
 9. It is the responsibility of the developer to ensure that setback lines are paid.
 10. Common Open Space (C.O.S.) 'A', 'B', 'C', 'D', 'E', 'F', 'G', 'H', and 'I' is to be maintained by The Cloisters of Hickory Hills Home Owners Association, Inc. as recorded in Book D228, Page 212.
 11. The Charter of The Cloisters of Hickory Hills Home Owners Association, Inc. is recorded in Book D228, Page 212.
 12. There is hereby established along the east line of Lot 64 - Lot 67 and along the west line of Lot 60 a 15 foot wide master drain easement.
 13. There is hereby established along the north line of Lot 47 and Lot 48 a 15 foot wide master drain easement.
 14. There is hereby established along the east line of Lot 49 and along the west line of Lots 50-52 a 15 foot wide master drain easement.
 15. There is hereby established along the west line of Lot 54 and along the north line of Lot 55 a 15 foot wide master drain easement.
 16. Owner/Subdivider: Renaissance Development Company, Inc. 104 Timber Creek Drive, Suite 100 Cordova, TN 38018

FINAL PLAT
The Cloisters
 Phase III
 CIVIL DISTRICT NO. 7
 MAP NO. 63, PARCEL NO. 19
 BOOK D758, PAGE 168
 42 LOTS - ZONED: R-3 TOTAL: 65.906 ACRES
 SCALE: 1" = 100' DATE: DECEMBER 12, 2005

BR/Pg: 8/126-126
 060000-073

1	POS - AL - PLAT	
1	ED DATE: 1856	
1	01/27/2006 - 11:45 AM	
0.00	MORTGAGE TAX	
0.00	TRANSFER TAX	
15.00	RECORDING FEE	
2.00	DP FEE	
0.00	REGISTER'S FEE	
17.00	TOTAL TAXES	

EDWARD PATTAT
 REGISTER OF DEEDS
 STATE OF TENNESSEE, FAYETTE COUNTY