

PROPERTY LINE TABLES

LINE	LENGTH	BEARING
L1	55.21	S86°29'29"E
L2	120.00	N03°30'31"E
L3	55.21	N86°29'29"W
L4	58.88	S55°03'51"E
L5	64.55	S86°36'40"E
L6	120.00	N03°23'20"E
L7	64.55	N86°36'40"W

CURVE	LENGTH	RADIUS	DELTA	CHORD BRNG	CHORD
C1	1.27	350.00	0°12'29"	N63°12'07"E	1.27
C2	159.23	300.00	30°24'38"	S78°18'12"W	157.37
C3	54.98	35.00	90°00'00"	N41°29'29"W	49.50
C4	54.98	35.00	90°00'00"	N48°30'31"E	49.50
C5	185.77	350.00	30°24'38"	S78°18'12"W	183.60
C6	192.71	350.00	31°32'49"	S70°50'16"E	190.28
C7	54.98	35.00	90°00'00"	N41°36'40"W	49.50
C8	54.98	35.00	90°00'00"	N48°23'20"E	49.50
C9	165.18	300.00	31°32'49"	S70°50'16"E	163.10

RENAISSANCE DEVELOPMENT
COMPANY III
BOOK D758, PAGE 168
(ZONED: R-3)
FUTURE DEVELOPMENT
166.505 ACRES

BESSIE S. RUSSELL
BOOK 122, PAGE 315
(ZONED: R-1)

HICKORY WITHE ROAD
TN. STATE HIGHWAY No. 196

ALICE T. LUCK
BOOK 265, PAGE 489
(ZONED: R-1)

RENAISSANCE DEVELOPMENT
COMPANY III
BOOK D758, PAGE 168
(ZONED: R-3)
FUTURE DEVELOPMENT
166.505 ACRES

JAMES P. GALLAGHER
BOOK 532, PAGE 102
(ZONED: R-1)

LEGEND:
ESMT. EASEMENT
BLDG. BUILDING
TYP. TYPICAL
C CURVE
L LINE
MIN. MINIMUM
S/B SETBACK

CERTIFICATE OF OWNERSHIP & DEDICATION

We hereby certify that we are the owners of the property shown and described hereon as evidenced in Book Number D758, Page 168, Fayette County Register's Office, and that we hereby adopt this plan of subdivision with our free consent, establish the minimum building restriction lines, and that offers of irrevocable dedication for all roads, utilities, and other facilities have been filed.

Date 9/29/05 [Signature]
Douglas C. Swink
Date 9/29/05 [Signature]
William S. Ollar
Date 9-29-05 [Signature]
Donnie Culver

CERTIFICATE OF SURVEY ACCURACY

I hereby certify that to the best of my knowledge and belief this is a true and accurate survey to the specifications of the Fayette County Subdivision Regulations of the property shown hereon; that this is a Category I Land Survey as defined in Title 62, Chapter 18, Tennessee Code, and that the ratio of precision is greater than or equal to 1:10,000.

[Signature] 09/29/2005
Date
Christopher M. Young, PLS
Partner
Tennessee Certificate No. 2262

CERTIFICATE OF THE FAYETTE COUNTY PROPERTY ASSESSOR:

I hereby certify that I am in receipt of a copy of this subdivision plat as required by "Fayette County Private Acts of 1972, Chapter No. 284."

[Signature] 10-11-2005
Date
Fayette County Property Assessor

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown hereon has been found to comply with the Fayette County Subdivision Regulations, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission; and that this plat has been approved for recording in the Office of the County Register.

[Signature]
Secretary, Planning Commission
Date

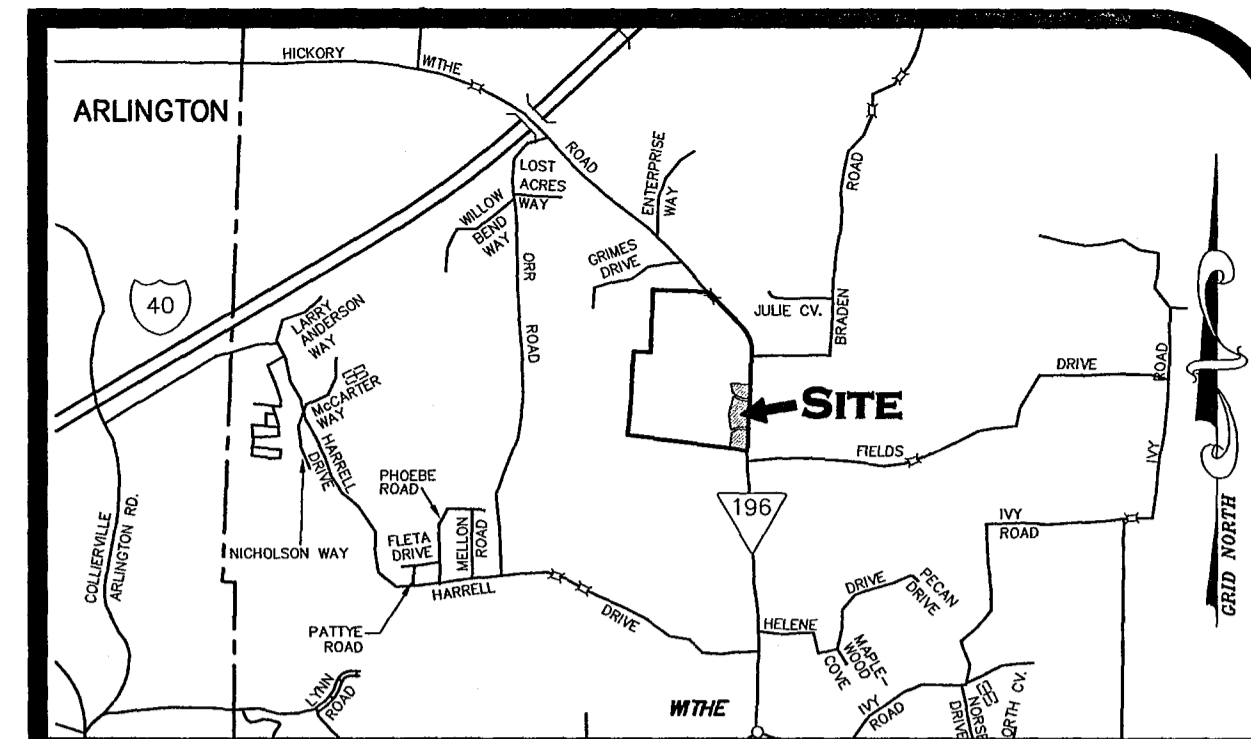
CERTIFICATE OF APPROVAL OF ON-SITE SEWAGE DISPOSAL SYSTEMS

Approval is hereby granted for Lots 1 thru 4 of The Cloisters, Phase 1, Fayette County, Tennessee, as being suitable for subsurface sewage disposal (SSD) with the listed or attached restrictions.

Prior to any construction or moving of a dwelling, mobile or permanent, the plans for the exact house/structure location must be approved and a SSD system permit issued by the Division of Ground Water Protection. Water tap, water lines, underground utilities and driveways should be located on side property lines unless otherwise noted. Any cutting, filling or alterations or the soil conditions may void this approval. Water wells will be located at time of SSD permit issuance where needed.

- Lot 1 Maximum 5 bedrooms; maximum setback 140 feet from centerline of Highway 196 and building line at Regent Drive; subsurface drain required; drive and utilities along east property line; 4 bedroom requires a low pressure pump.
- Lot 2 Maximum 4 bedrooms; maximum setback 120 from centerline of Highway 196; low pressure pump required; subsurface drain required to master curtain drain.
- Lot 3 Maximum 4 bedrooms; maximum setback 120 from centerline of Highway 196; low pressure pump required; subsurface drain required to master curtain drain.
- Lot 4 Maximum 4 bedrooms; maximum setback 120 from centerline of Highway 196; low pressure pump required; subsurface drain required to master curtain drain.

[Signature] 10-5-05
Date
Environmental Specialist
Director of Ground Water Protection



VICINITY MAP



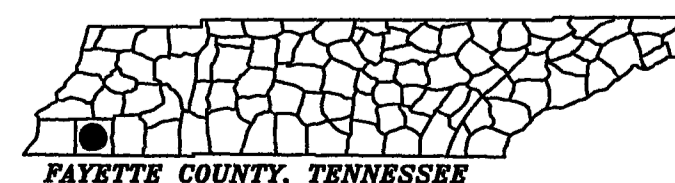
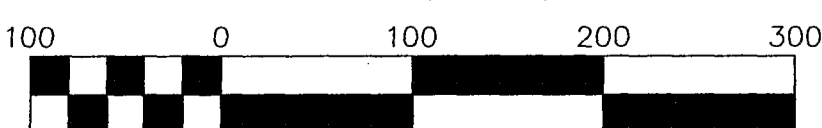
Renaissance Development Company
104 Timber Creek Drive, Ste. 100 - Cordova, TN 38018
ph.-901.758.2728 fax-901.758.1235
...another quality Renaissance Development

NOTES:

- Plat prepared for Renaissance Development Company III.
- Bearings are relative to the south line of this property having an assumed bearing of north 81 degrees 45 minutes 32 seconds west as shown hereon.
- This property is not located in a Special Flood Hazard Area per Flood Insurance Rate Map, Community Panel No. 470352 0015 B. Effective Date: July 5, 1983.
- Set metal fence post with metal tag on all property corners.
- This plat was prepared from survey of this property by Ollar Surveying Company dated December 09, 2004.
- A fifteen (15) foot utility easement is established along the side and rear lot lines of each lot and along all dedicated right-of-ways as shown hereon.
- There is hereby dedicated to the State of Tennessee, a 30 right-of-way west of the centerline of Hickory Withe Road (State Highway 196) as shown hereon.
- Minimum building setbacks are as follows:
 - Eighty (80) feet from the centerline of all interior dedicated roads for both principle and accessory buildings except as shown hereon.
 - One hundred (100) feet from the centerline of State Hwy. No. 196 for both principle and accessory buildings
 - Fifteen (15) feet from all side and rear lot lines for both principle and accessory buildings, except as shown on the south line of Lot 4 where it is Thirty (30) feet.
- Electric, gas, cable and telephone to be installed throughout the development based on the appropriate utility authority specifications.
- Declaration of Protective Covenants and Restrictions for The Cloisters, Phase 1 recorded in Book D798, Page 203.
- The Charter of The Cloisters of Hickory Withe Home Owner's Association, Inc. is recorded in Book D798, Page 212.
- It is the responsibility of the developer to assure that rollback taxes are paid.
- Owner/Subdivider: Renaissance Development Company III
104 Timber Creek Drive, Suite 100
Cordova, TN 38018

FINAL PLAT
The Cloisters
Phase 1

CIVIL DISTRICT NO. 7
MAP NO. 63, PARCEL NO. 19
BOOK D758, PAGE 168
4 LOTS - ZONED: R-3 TOTAL: 12.329 ACRES
SCALE: 1" = 100' DATE: SEPTEMBER 28, 2005



BK/Pg: 8/110-110
05009195

1 PGS. 1 AL. - PLAT	
ED. MARCH 16966	
10/11/2005 - 02:35 PM	
VALUE	0.00
MORTGAGE TAX	0.00
TRANSFER TAX	0.00
RECORDING FEE	15.00
DP FEE	2.00
REGISTER'S FEE	0.00
TOTAL AMOUNT	17.00

STATE OF TENNESSEE, FAYETTE COUNTY
EDWARD PATTAT
REGISTER OF DEEDS