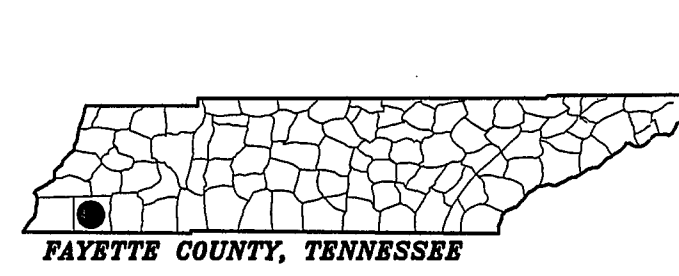
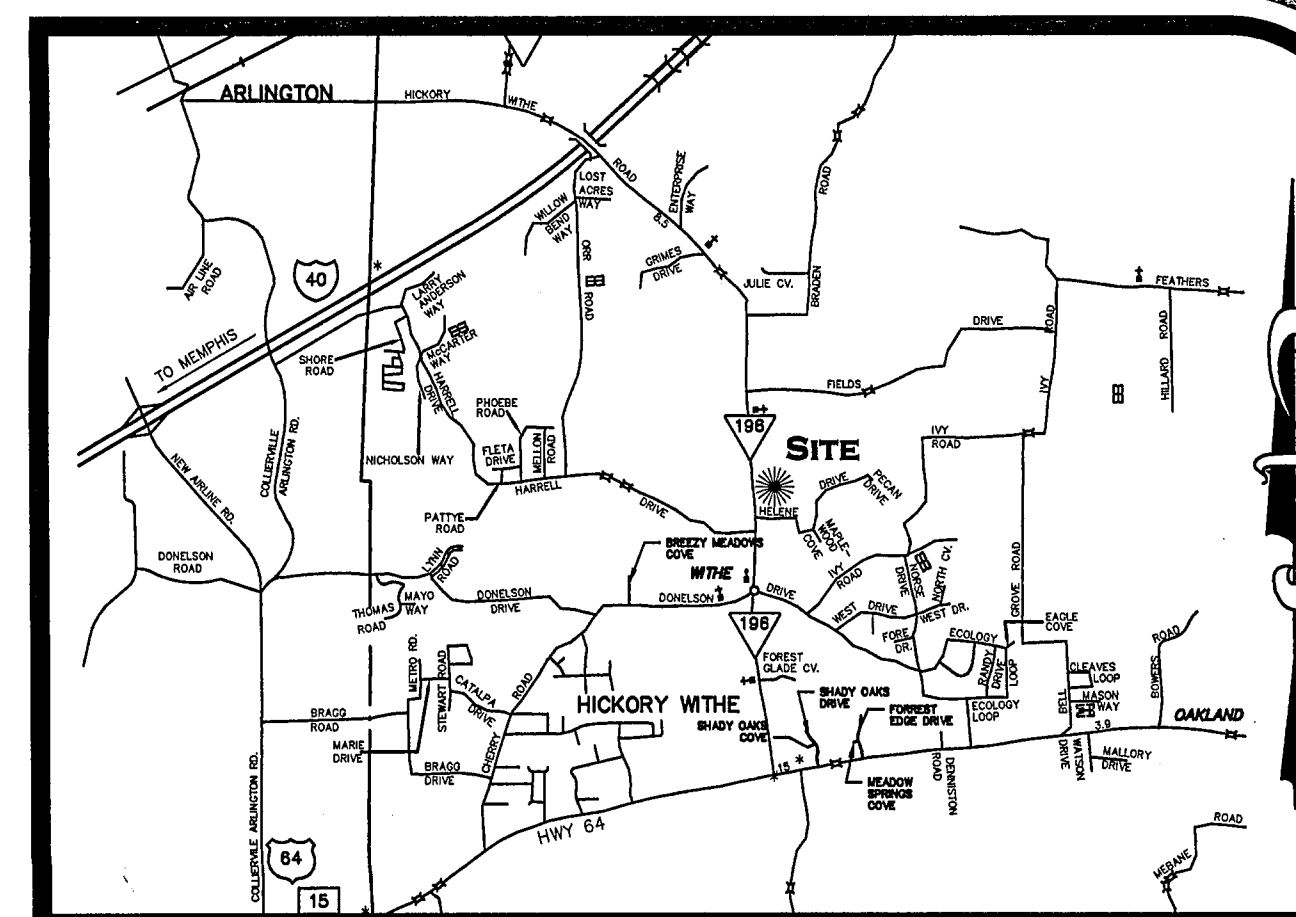


**Renaissance Development Company**  
 104 Timber Creek Drive, Ste. 100 - Cordova, TN 38018  
 ph.901.758.2728 fax.901.758.1235  
 ...another quality Renaissance Development



DRAINAGE ESMT. TABLES

LINE	LENGTH	BEARING
L1	15.00	S00°00'00"E
L2	15.00	S00°00'00"E
L3	15.00	N78°33'11"W
L4	15.00	S78°33'11"W
L5	15.00	S78°33'11"W
L6	15.00	N78°33'11"W
L7	15.00	N87°12'21"W
L8	15.00	S87°12'21"W
L9	15.01	N78°33'11"W
L10	15.00	S78°33'11"W
L11	15.00	S87°12'21"W
L12	10.00	S89°56'47"E
L13	10.70	S89°56'47"E
L14	15.00	S00°00'00"E
L15	15.00	S00°00'00"E
L16	10.00	N02°31'50"W
L17	15.00	N02°31'50"W
L18	15.00	S02°31'50"W
L19	15.00	S02°31'50"W
L20	15.16	N02°31'50"W
L21	15.00	N33°23'24"E
L22	15.00	N33°23'24"E
L23	21.92	N58°28'32"E
L24	15.28	S22°37'07"W
L25	15.00	S22°37'07"W
L26	15.00	S22°37'07"W
L27	15.00	S22°37'07"W
L28	16.74	S00°00'00"E
L29	15.00	S00°00'00"E
L30	15.00	S00°00'00"E



VICINITY MAP NOT TO SCALE

PROPERTY LINE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD BRNG	CHORD
C1	6.85	1125.00'	0°27'21"	N58°33'17"W	6.85

ROAD CENTERLINE LINE TABLES

CURVE	LENGTH	RADIUS	DELTA	CHORD BRNG	CHORD
C2	42.28	650.00'	3°33'28"	S89°18'17"E	42.28
C3	47.39	800.00'	3°23'32"	N88°18'11"W	47.39
C4	166.57	575.00'	16°35'32"	S21°21'02"W	166.57
C5	87.37	75.00'	81°28'04"	S52°22'59"W	65.13
C6	167.24	75.00'	42°45'04"	S52°22'59"W	47.85
C7	58.75	75.00'	42°45'04"	N09°14'27"E	56.41
C8	10.64	575.00'	19°33'39"	S30°10'38"W	10.64
C9	371.17	575.00'	36°59'07"	S65°28'17"E	384.78
C10	258.29	35.00'	42°32'04"	S22°37'07"W	258.80
C11	207.86	800.00'	14°53'12"	S19°34'52"W	207.27
C12	64.63	75.00'	49°17'39"	N27°47'58"E	62.55
C13	184.49	40.00'	27°35'19"	S86°50'59"E	52.17
C14	84.53	75.00'	49°17'39"	S86°50'59"E	87.55
C15	99.83	300.00'	19°05'09"	S23°47'49"W	99.47
C16	21.5	300.00'	4°02'18"	S12°14'05"W	21.44
C17	53.03	75.00'	49°30'33"	N30°38'17"E	51.93
C18	168.79	35.00'	42°32'04"	S22°37'07"W	169.20
C19	74.04	75.00'	55°33'49"	S14°01'47"E	71.07
C20	84.53	1100.00'	4°52'29"	N59°17'21"W	84.52
C21	441.17	850.00'	29°44'17"	S71°11'45"E	438.24
C22	231.26	850.00'	15°35'24"	N59°49'24"E	230.57

LOT LINE TABLES

CURVE	LENGTH	RADIUS	DELTA	CHORD BRNG	CHORD
C23	48.87	825.00'	3°23'32"	N88°18'11"W	48.86
C24	33.36	25.00'	78°29'41"	N55°10'18"E	30.94
C25	144.07	600.00'	13°45'26"	S23°49'40"W	143.72
C26	37.84	50.00'	43°12'24"	N09°14'27"E	36.84
C27	48.82	80.00'	44°42'32"	S09°42'17"W	45.64
C28	100.07	80.00'	92°33'25"	S78°20'15"W	88.67
C29	139.80	80.00'	133°29'50"	N14°21'55"E	110.25
C30	44.91	50.00'	51°28'04"	S52°22'59"W	43.42
C31	98.48	50.00'	103°02'27"	S74°37'17"W	98.35
C32	48.34	25.00'	108°12'07"	S33°30'17"E	39.80
C33	106.78	550.00'	11°27'19"	S14°20'07"W	106.80
C34	37.05	25.00'	84°50'11"	S50°36'03"W	33.75
C35	192.82	850.00'	4°52'29"	S12°14'05"W	193.77
C36	118.84	850.00'	12°23'02"	S17°41'30"E	119.80
C37	136.88	375.00'	20°54'52"	N13°28'25"W	136.15
C38	137.71	375.00'	21°02'27"	N07°30'14"E	136.94
C39	108.54	775.00'	9°50'54"	S13°38'17"W	109.45
C40	84.53	775.00'	4°42'29"	S08°39'21"W	81.57
C41	40.62	25.00'	83°16'18"	S43°24'01"E	36.30
C42	173.28	825.00'	12°02'03"	N84°10'43"E	172.98
C43	107.81	325.00'	1°32'52"	S23°54'31"E	107.21
C44	89.07	25.00'	87°42'29"	S46°46'18"E	34.49
C45	43.02	50.00'	49°17'39"	S21°21'41"E	41.70
C46	52.11	55.00'	45°59'47"	N23°10'37"W	50.72
C47	54.63	85.00'	48°02'28"	N25°11'00"E	53.00
C48	50.28	85.00'	44°19'29"	N19°14'29"E	49.04

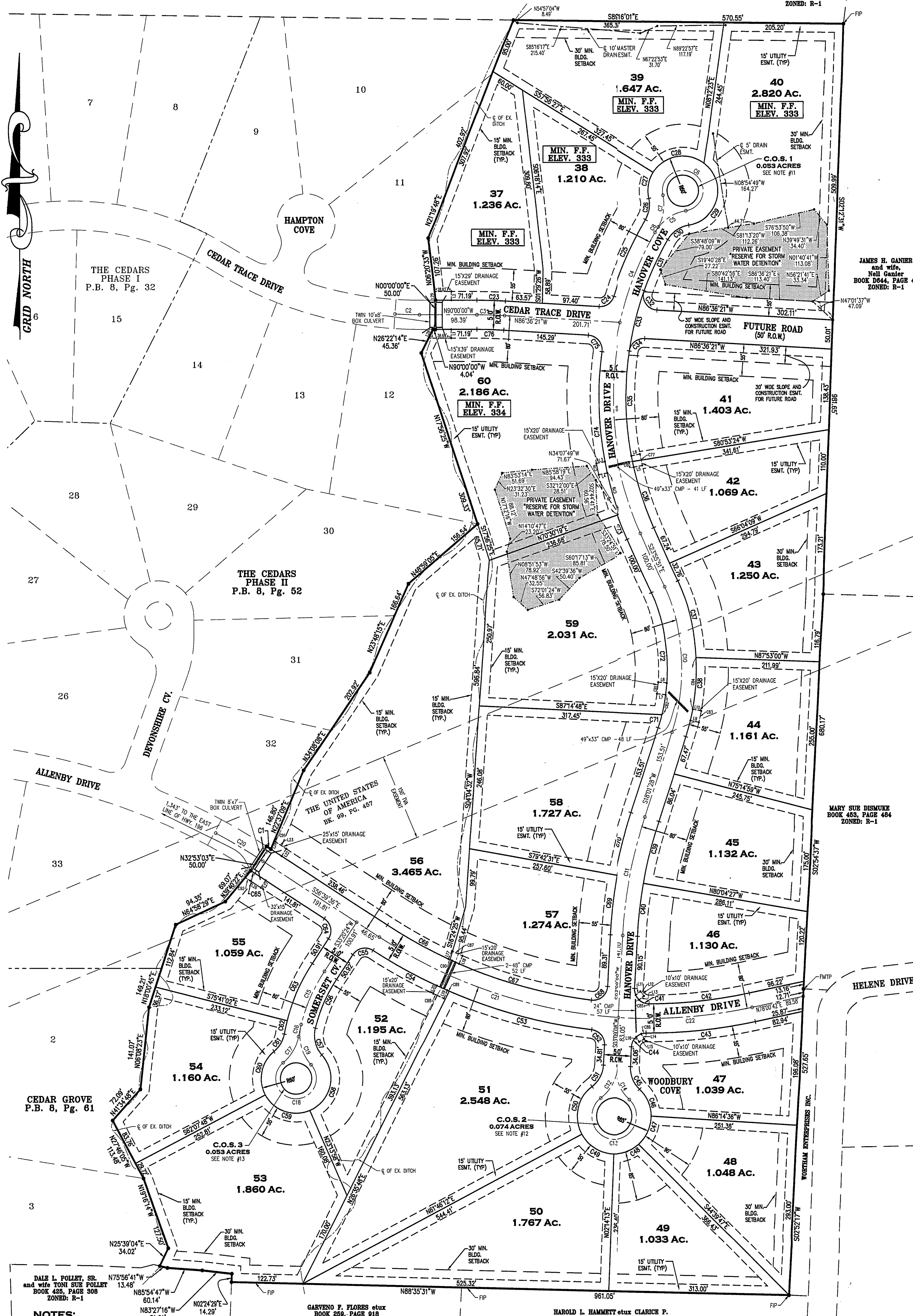
LOT LINE TABLES

CURVE	LENGTH	RADIUS	DELTA	CHORD BRNG	CHORD
C49	87.54	65.00'	59°31'59"	S27°59'48"E	64.54
C50	91.50	85.00'	80°40'36"	S12°08'30"W	84.15
C51	43.07	50.00'	87°12'39"	N27°47'58"E	41.70
C52	37.69	25.00'	82°52'44"	N49°02'34"E	34.22
C53	254.19	875.00'	18°38'52"	S74°55'00"E	253.28
C54	148.47	875.00'	84°19'19"	S61°44'04"E	148.29
C55	43.07	50.00'	87°12'39"	N27°47'58"E	41.70
C56	91.51	275.00'	19°25'09"	S23°47'49"W	91.18
C57	49.36	50.00'	58°33'48"	S14°01'40"E	47.36
C58	114.27	80.00'	109°14'36"	N12°13'43"E	97.74
C59	68.30	80.00'	87°12'39"	S23°52'05"E	67.32
C60	82.30	80.00'	78°55'41"	S11°25'38"E	78.00
C61	35.30	50.00'	40°30'33"	N30°28'12"E	34.82
C62	23.26	325.00'	4°49'02"	S12°15'57"W	23.25
C63	107.81	325.00'	1°32'52"	S23°54'31"E	107.21
C64	39.27	25.00'	80°00'00"	N13°38'36"W	38.35
C65	8.55	1075.00'	0°27'21"	S85°53'19"W	8.55
C66	122.84	825.00'	83°12'18"	S60°55'44"E	122.82
C67	263.87	825.00'	17°32'27"	S23°54'31"E	262.28
C68	41.04	25.00'	84°02'43"	N01°10'00"E	38.59
C69	102.80	825.00'	7°08'21"	S08°43'19"W	102.73
C70	111.30	825.00'	7°43'58"	S14°29'29"W	111.26
C71	33.27	325.00'	4°49'02"	N13°38'36"W	32.87
C72	214.71	325.00'	37°31'09"	N09°16'18"W	210.83
C73	48.45	600.00'	47°08'09"	S41°44'26"E	46.44
C74	284.36	600.00'	27°09'17"	S05°58'03"E	281.71
C75	41.15	25.00'	84°19'29"	N25°11'00"E	38.65
C76	45.91	775.00'	37°32'39"	N08°11'11"W	45.80

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD BRNG	CHORD
C77	20.00	530.00'	2°06'31"	S12°28'49"E	20.00
C78	20.00	815.00'	1°11'48"	S12°28'49"E	20.00
C79	74.86	800.00'	7°28'54"E	N74°32'54"E	74.82
C80	10.00	500.00'	1°22'31"	S11°58'04"E	10.00
C81	20.00	310.00'	3°41'08"	N58°28'18"E	20.00
C82	34.86	310.00'	6°58'59"	N30°28'12"E	34.86
C83	103.83	310.00'	19°25'09"	S23°47'49"W	103.80
C84	88.86	310.00'	13°26'24"	N03°46'48"E	88.78
C85	18.92	20.00'	43°27'27"	S08°18'32"E	18.47
C86	8.48	100.00'	19°25'09"	S23°47'49"W	8.42
C87	20.00	810.00'	1°26'51"	S60°40'17"E	20.00
C88	20.00	219.84	0°30'39"	N68°10'47"W	20.00
C89	3.30	875.00'	0°19'39"	S89°28'24"E	3.30
C90	2.02	825.00'	0°12'34"	S89°25'35"E	2.02
C91	3.84	1140.00'	0°08'54"	N68°43'53"E	3.84
C92	10.27	1080.00'	0°30'07"	N68°16'11"W	10.27

DARNELL T. LASSITER  
 BOOK 245, PAGE 340  
 ZONED: R-1



**CERTIFICATE OF OWNERSHIP & DEDICATION**  
 We hereby certify that we are the owners of the property shown and described hereon as evidenced in Book Number D759, Page 35, Fayette County Registers Office, and that we hereby adopt this plan of subdivision with our free consent, establish the minimum building restriction lines, and that offers of irrevocable dedication for all roads, utilities, and other facilities have been filed.  
 Date: 8/2/05  
 Date: 8/2/05  
 Douglas C. Swink  
 William S. Olier

**CERTIFICATE OF SURVEY ACCURACY**  
 I hereby certify that, to the best of my knowledge and belief this is a true and accurate survey to the specifications of the Fayette County Subdivision Regulations of the property shown hereon; that this is a Category I Land Survey as defined in Title 66, Chapter 2, Tennessee Code, and that the ratio of precision is greater than or equal to 1:10,000.  
 Date: 8/2/05  
 William S. Olier, RLS  
 Partner, Lassiter & Olier, Inc.  
 Tennessee State Bar No. 31514

**CERTIFICATE OF THE FAYETTE COUNTY PROPERTY ASSESSOR:**  
 I hereby certify that I am in receipt of a copy of this subdivision plat as required by Fayette County Private Acts of 1972, Chapter No. 284.  
 Date: 08-15-2005  
 Fayette County Property Assessor

**CERTIFICATE OF APPROVAL OF ROADS AND ROADWAY DRAINAGE**  
 I, James E. Smith, hereby certify that all improvements, including but not limited to road, roadway drainage improvements and stormwater drainage have been installed in accordance with the regulations and/or the other specifications adopted by Fayette County and are warranted for one year against any defect in workmanship or materials in the amount of \$25,000.00 (b) that a performance bond or other surety instrument in the amount of \$25,000.00 has been provided to guarantee completion of all required improvements for this subdivision, in case of default.  
 Date: 8/15/05  
 James E. Smith  
 Director of Public Works

**CERTIFICATE OF APPROVAL FOR ROAD NAME**  
 I, Carol Ann Eubank, hereby certify that I have reviewed the proposed subdivision and certify that the names of the roads within this proposed subdivision do not conflict with other road names for emergency service purposes.  
 Date: 8/15/05  
 Carol Ann Eubank  
 Director of 911 Addressing

**CERTIFICATE OF APPROVAL FOR RECORDING**  
 I hereby certify that the subdivision plat shown herein has been found to comply with the Fayette County Subdivision Regulations, with the exception of such variations, if any, as are noted in the minutes of the Planning Commission; and that this plat has been approved for recording in the Office of the County Register.  
 Date: 8/15/05  
 Secretary, Planning Commission

**CERTIFICATE OF APPROVAL OF ON-SITE SEWAGE DISPOSAL SYSTEMS**  
 Approval is hereby granted for Lots 37 thru 60 of The Cedars Subdivision, Phase 3, Fayette County, Tennessee, as being suitable for subsurface sewage disposal (SSD) with the listed or attached restrictions. Prior to any construction or moving of a dwelling, mobile or permanent, the plans for the exact house/structure location must be approved and a SSD system permit issued by the Division of Ground Water Protection. Water, gas, water lines, underground utilities and driveways should be located on side property lines unless otherwise noted. Any cutting, filling or alterations or the soil conditions may void this approval. Water wells will be located at time of SSD permit issuance where needed.  
 Lot 37 Maximum four bedrooms; maximum setback at building line; subsurface drain required; pump may be required.  
 Lot 38 Maximum four bedrooms; maximum setback at building line and maximum of 40' off north property line; drive to be located along north property line; low pressure pump required; subsurface drain required.  
 Lot 39 Maximum four bedrooms; maximum 200' off centerline of Hanover Cove and maximum of 40' off southwest property line; drive to be located along southwest property line; low pressure pump required; subsurface drain required.  
 Lot 40 Maximum five bedrooms; maximum 150' off centerline of Hanover Cove (exact location to be determined at issuance of permit); drive to be located on the south side of the house; low pressure pump required; subsurface drain required; master curtain drain required.  
 Lot 41 Maximum four bedrooms; maximum setback at building line off Hanover Drive and off of future road on north side of lot; low pressure pump required; subsurface drain required; drive to be located on south side of house.  
 Lot 42 Maximum four bedrooms; maximum setback 100' from centerline of Hanover Drive; low pressure pump required; subsurface drain required.  
 Lot 43 Maximum four bedrooms; maximum setback 100' from centerline of Hanover Drive; low pressure pump required; subsurface drain required.  
 Lot 44 Maximum four bedrooms; maximum setback at building line off Hanover Drive; low pressure pump required; subsurface drain required. Low pressure pump required.  
 Lot 45 Maximum three bedrooms; minimum 100' setback from centerline of Hanover Drive; low pressure pump required; subsurface drain required; driveway and utilities to be located along north property line.  
 Lot 46 Maximum three bedrooms; maximum setback at building line off Alleyby Drive and minimum 150' off centerline of Hanover Drive; low pressure pump required; subsurface drain required; drive to be located off Alleyby Drive along east property line.  
 Lot 47 Maximum four bedrooms; maximum building setback at building line on both Alleyby Drive and Woodbury Cove; low pressure pump required; subsurface drain required; drive to enter off Woodbury Cove.  
 Lot 48 Maximum three bedrooms; maximum setback at building line; low pressure pump required; subsurface drain required.  
 Lot 49 Maximum four bedrooms; maximum setback 150' from centerline of Woodbury Cove; low pressure pump required; subsurface drain required; drive to be located along west property line.  
 Lot 50 Maximum four bedrooms; minimum setback 200' from centerline of Woodbury Cove and maximum 40' off west property line; low pressure pump required; subsurface drain required; drive and utilities to be located along west property line.  
 Lot 51 Maximum four bedrooms; maximum setback of 40' off south property line and 200' off centerline of Woodbury Cove; low pressure pump required; subsurface drain required.  
 Lot 52 Maximum five bedrooms; maximum setback 80' from Alleyby Drive and Somerset Cove; low pressure pump required; subsurface drain required; drive to be located on north property line.  
 Lot 53 Maximum four bedrooms; maximum setback 100' from centerline of Hanover Drive; low pressure pump required; subsurface drain required.  
 Lot 54 Maximum four bedrooms; maximum setback 100' from centerline of Hanover Drive; low pressure pump required; subsurface drain required.  
 Lot 55 Maximum four bedrooms; maximum setback at building lines off of Alleyby Drive and Somerset Cove; pump may be required.  
 Lot 56 Maximum four bedrooms; house location to be determined at issuance of building permit; pump may be required; subsurface drain may be required.  
 Lot 57 Maximum four bedrooms; maximum setback at building line off Alleyby Drive and Hanover Drive; low pressure pump required; subsurface drain required.  
 Lot 58 Maximum five bedrooms; maximum setback at building line; subsurface drain required.  
 Lot 59 Maximum five bedrooms; maximum setback 100' from centerline of Hanover Drive; low pressure pump required; subsurface drain required.  
 Lot 60 Maximum four bedrooms; maximum setback 100' of centerline of Hanover Drive; minimum setback at building line on Cedar Trace Drive; conventional system may be required.

- NOTES:**
- Plat prepared for Renaissance Development Company.
  - Bearings are relative to the north line of this property having an assumed bearing of south 89 degrees 18 minutes 01 seconds east as shown hereon.
  - This property is not located in a Special Flood Hazard Area per Flood Insurance Rate Map, Community Panel No. 470352 0003 B or Flood Insurance Rate Map, Community Panel No. 470352 0005 B, Effective Date: July 5, 1992.
  - Set metal fence post with metal tag on all property corners.
  - This plat was prepared from a survey by Ollar Surveying Company dated May 12, 2003.
  - A fifteen (15) foot utility easement is established along the side and rear lot lines of each lot and along all dedicated right-of-ways as shown hereon.
  - Minimum building setbacks are as follows:
    - Eighty (80) feet from the centerline of all interior dedicated roads for both principle and accessory buildings except as shown hereon.
    - Fifteen (15) feet from all side and rear lot lines for both principle and accessory buildings, except as shown on the rear lot line of Lots 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, and 53 where it is (15) foot.
  - Electric, gas, cable and telephone to be installed throughout the development based on the appropriate utility authority specifications.
  - Declaration of Protective Covenants and Restrictions for The Cedars, Phase 3 recorded in Book D2729, Page 323.
  - The cove island is to be maintained by the owners of Lots 38 - 40.
  - The cove island is to be maintained by the owners of Lots 47 - 51.
  - The cove island is to be maintained by the owners of Lots 52 - 55.
  - It is the responsibility of the developer to assure that rollback taxes are paid.
  - Owner/Subdivider: Renaissance Development Company  
 104 Timber Creek Drive, Suite 100  
 Cordova, TN 38018

**FINAL PLAT**

*The Cedars*

**PHASE III**

**FAYETTE COUNTY, TENNESSEE**

**CIVIL DISTRICT NO. 7**

**MAP NO. 82, PARCEL NO. 5**

**BOOK D759, PAGE 35**

**24 LOTS - ZONED: R-3 TOTAL: 42.148 ACRES**

**SCALE: 1" = 100' DATE: AUGUST 01, 2005**

100 0 100 200 300

**OLLAR SURVEYING COMPANY**

104 TIMBER CREEK DRIVE, SUITE 100, CORDOVA, TENNESSEE 38018 PHONE: (901) 758-1260 FAX: (901) 758-1235 EMAIL: MML@OLLARSURVEYING.COM

- LEGEND:**
- ESMT. BLDG.
  - BLDG.
  - TYP.
  - C
  - LINE
  - MINIMUM
  - F.F.
  - ELEVATION
  - COMMON OPEN SPACE
  - RIGHT-OF-WAY
  - LINEAR FOOT
- BK/Pg: D/98-98**  
**05007245**
1. PG. 1 AL. PLAT  
 2. BAKED: 12/19  
 3. 08/15/2005 - 03:32 PM  
 4. PROPERTY TAX 0.00  
 5. TRANSFER TAX 0.00  
 6. RECORDED FEE 15.00  
 7. OF FEE 1.00  
 8. REGISTER'S FEE 0.00  
 9. TOTAL AMOUNT 16.00  
 STATE OF TENNESSEE, FAYETTE COUNTY  
**EDWARD PATTAT**  
 REGISTER OF DEEDS
- Date: 8/9/05  
 Environmental Specialist  
 Director of Ground Water Protection